



## MOBILE HOME GUIDELINES

**Manufactured/Mobile Home:** a structure that conforms to *Canadian Standards Association, Construction Standard No. Z240.2.1-1979* and amendments thereto.

### BUILDING PERMITS

Applicants must complete a Development Permit Application, Building Permit Application, and Construction Code Authority Plan Review Checklist – Mobile Homes. The Town requires photos of the exterior from all four (4) sides and interior photos to include the kitchen, bathroom, bedroom, and living room. Include the year of the Mobile Home and the CSA number from the certified seal affixed to the Mobile Home. In the event that the Mobile Home is not located in the Town, but within a radius of 80km of the Town, the permit applicant shall pay an inspection fee in cases where the Town requires the Building Inspector to have a physical inspection before the permit is approved. All construction to be inspected by the Town's Building Inspector. Permits are to be completed and signed by the applicant. **A building permit is valid for 6 months only.** If the work has not started prior to this period, a new permit **must be obtained**, unless prior written approval has been granted. **All contractors are required to be licensed with the Town and should be listed on the permit. Please contain loose debris on construction site.**

### PLOT PLANS

Submit **in ink**, a **plot plan drawn to scale on an 8 ½" x 11" paper (use a ruler) or PDF file** indicating the direction (north). Show the lot size, locations of all existing and proposed buildings and all setbacks. Date and sign the plot plan include civic address and legal description. Pictures or pamphlets can be submitted in addition to permit and plot plan. **All measurements are to be done in metric.**

### INSTALLATION & ANCHORING

If the Mobile Home is to be placed on concrete pads (non-existing), the forms for the concrete pads are required to be inspected before the concrete pads being poured. Anchoring the Mobile Home is required and may be anchored by means of corrosion-resistant steel rods or cable at least (1/2") in diameter and attached to the Mobile Home frame at points specified by the manufacturer, or if the manufacturer information is not available, attached at or near the frame corners. Mobile Homes may also be anchored in accordance with Article 2.1.4.1 of the *National Building Code of Canada* as adopted by the *Uniform Building and Accessibility Standards Act*.

### INSPECTIONS

**Please contact the Town's Building Inspector, Ryan Shepherd, CCA at 306-441-3989. Allow 2 business days' notice before inspections are required.**

### PROPERTY PIN LOCATION

**It is the property owner's responsibility to find the property pins.**

### ZONING REGULATIONS

The minimum setback and zoning requirements as per the Zoning Bylaw, as amended:

Front Yard	3 meters
Rear Yard	3 meters
Side Yard	1.2 meters
Side Yard (corner)	3 meters
Side Yard (door faces side)	4.5 meters
Minimum Building Floor Area	65m <sup>2</sup>
Maximum Site Coverage	40%
Parking	2 spaces per dwelling unit

## SKIRTING

**All Mobile Homes shall be skirted**, extending from the bottom of the Mobile Home unit or into the ground. Skirting shall be constructed to prevent entry of rodents. Skirtings shall have a readily removeable panel of not less than (3) feet wide and (2) feet high, giving access to service connections as close to the water meter as possible. Skirtings should be insulated. Water lines must be heat taped and/or insulated from ground level up to the floor including the water meter. A (4") sewer clean should be installed on the vertical end to the Town's sewage system.

## ADDITIONS

Subsequent additions, alterations or accessory buildings shall be dealt with by the applicant under the Town's building bylaw. All additions should be pre-finished to compliment the main structure.

## MOVED-IN BUILDINGS

An on-site inspection may be required

**Garages:** requires a minimum of (1) interior and (4) exterior pictures of all sides.

**This is to use as a quick reference only. More information may be required depending on the type of development. Please refer all your questions to Town Hall at 937-6200. Before any type of construction, it is your responsibility to locate all utilities.**



# TOWN OF BATTLEFORD

Application #: \_\_\_\_\_

## APPLICATION FOR DEVELOPMENT PERMIT

THIS IS NOT A BUILDING PERMIT

You are advised to check the regulations in the Town of Battleford Zoning Bylaw that govern the type of development being proposed prior to completing this application. Fill out only those sections of the application which are relevant to your proposal. Attach additional sheets if necessary.

### 1 Applicant Information

Full Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Fax \_\_\_\_\_  
 Email \_\_\_\_\_

### 2 Registered Owner Information (if different from applicant)

Full Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Fax \_\_\_\_\_  
 Email \_\_\_\_\_

### 3 Property Information (include any applicable)

Civic Address \_\_\_\_\_  
 Lot \_\_\_\_\_ Block \_\_\_\_\_ Registered Plan No. \_\_\_\_\_ Parcel No. \_\_\_\_\_  
 LSD \_\_\_\_\_ ¼ \_\_\_\_\_ Sec. \_\_\_\_\_ Twp. \_\_\_\_\_ Rge. \_\_\_\_\_ Mer. W3M

### 4 Proposed Development Information

a) Existing use of land and/or buildings: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_ **EXISTING SIZE:** \_\_\_\_\_

b) Proposed use of land and/or buildings: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_ **PROPOSED SIZE:** \_\_\_\_\_

c) Proposed construction and alteration of buildings: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

d) List any adjacent or nearby land uses: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e) Any additional information which may be relevant: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f) Proposed date of start: \_\_\_\_\_ g) Proposed date of completion: \_\_\_\_\_

CONTINUE →

## 5 Development Context

Consult the Town of Battleford Official Community Plan Bylaw, Map 1 – Future Land Use Concept, and indicate with  whether the proposed development site is located within any of the following areas:

<b>Existing</b> Residential.....	<input type="checkbox"/>	<b>Future</b> Industrial.....	<input type="checkbox"/>
<b>Existing</b> Mixed-Use.....	<input type="checkbox"/>	<b>Future</b> Community Service.....	<input type="checkbox"/>
<b>Existing</b> Commercial.....	<input type="checkbox"/>	<b>Future</b> Parks & Recreation.....	<input type="checkbox"/>
<b>Existing</b> Industrial.....	<input type="checkbox"/>	<b>Future</b> Utilities & Infrastructure.....	<input type="checkbox"/>
<b>Existing</b> Community Service.....	<input type="checkbox"/>	-----	
<b>Existing</b> Parks & Recreation.....	<input type="checkbox"/>	<b>Potential</b> Residential.....	<input type="checkbox"/>
<b>Existing</b> Utilities & Infrastructure.....	<input type="checkbox"/>	<b>Potential</b> Mixed-Use.....	<input type="checkbox"/>
Vacant & Agricultural Land.....	<input type="checkbox"/>	<b>Potential</b> Commercial.....	<input type="checkbox"/>
-----		<b>Potential</b> Industrial.....	<input type="checkbox"/>
<b>Future</b> Residential.....	<input type="checkbox"/>	<b>Potential</b> Community Service.....	<input type="checkbox"/>
<b>Future</b> Mixed-Use.....	<input type="checkbox"/>	<b>Potential</b> Parks & Recreation.....	<input type="checkbox"/>
<b>Future</b> Commercial.....	<input type="checkbox"/>	<b>Potential</b> Utilities & Infrastructure.....	<input type="checkbox"/>

## 6 Site Plan / Vicinity Map

On the last page of this application, or on an additional attached page, include a Site Plan of the proposed development that clearly shows:

- |  |   |
|--|---|
| a) boundaries and dimensions of the site and adjacent lots                 | d) treed areas, water courses or bodies, landscaping and proposed lot grade information |
| b) location and size of all existing and proposed buildings and structures | e) location of existing and proposed access points to streets and lanes                 |
| c) utility lines, easements, or topographic features                       |   |

## 7 Application Fees

As per the Town of Battleford Zoning Bylaw, Section 3.14 – Fees, the applicable fees for a development permit are as follows:

- |                                 |          |                                 |   |
|---------------------------------|----------|---------------------------------|---|
| a) Permitted principal use:     | \$100.00 | e) Discretionary accessory use: | \$200.00  |
| b) Permitted accessory use:     | \$100.00 | f) Discretionary ancillary use: | \$200.00  |
| c) Permitted ancillary use:     | \$100.00 | g) Development appeal fee:      | up to \$50.00                                   |
| d) Discretionary principal use: | \$200.00 |                                 | (as specified by the Development Appeals Board) |

**These fees do not include building permit fees. Building permit fees will be in addition to any Development Permit Fees.**

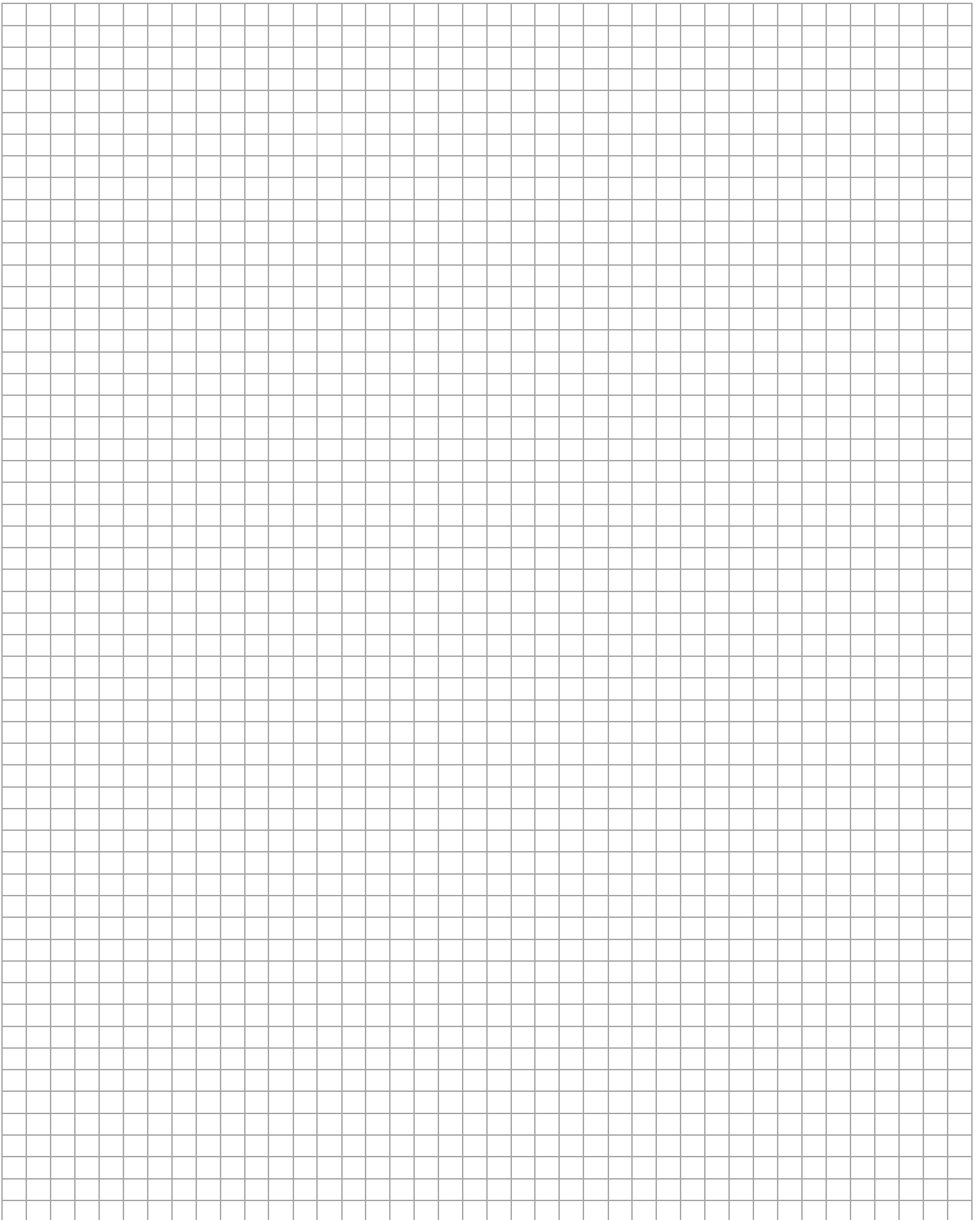
## 8 Declaration of Applicant

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the Province of Saskatchewan, solemnly declare that the above statements contained within this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath, and by virtue of the Canada Evidence Act. I have no objection to the entry upon the land described herein by the person(s) authorized by the Town of Battleford for the purpose of site inspections required for reviewing this application.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

SITE PLAN / VICINITY MAP





TOWN OF BATTLEFORD  
APPLICATION FOR BUILDING PERMIT

FORM A PERMIT # \_\_\_\_\_

The undersigned owner or agent hereby applies for a permit to:

\_\_\_\_\_ construct; \_\_\_\_\_ alter; \_\_\_\_\_ re-construct; \_\_\_\_\_ move-in pre-built; \_\_\_\_\_ move-in existing,  
a building according to the information below and to the plans and documents attached to this application.

Type of Building: \_\_\_\_\_ One-Unit Dwelling \_\_\_\_\_ Two-Unit Dwelling  
Other \_\_\_\_\_

Intended Use: \_\_\_\_\_

Civic address of construction: \_\_\_\_\_

Owner: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Designer: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zoning District: \_\_\_\_\_

CONSTRUCTION DETAILS

Building Size: \_\_\_\_\_ Length: \_\_\_\_\_ Width: \_\_\_\_\_ Wall Height: \_\_\_\_\_

No. of Storeys: \_\_\_\_\_ Fire Escapes: \_\_\_\_\_ No. of Stairways: \_\_\_\_\_

Width of Stairways: \_\_\_\_\_ No. of Exits: \_\_\_\_\_ Width of Exits: \_\_\_\_\_

If moved in, year built: \_\_\_\_\_ (include exterior and interior pictures)

Route: \_\_\_\_\_

Mover: \_\_\_\_\_ Date of Proposed Move: \_\_\_\_\_

ITEM:	MATERIAL:	SIZE:	SPACING:	OTHER DETAILS:
Footings:	_____	_____	_____	_____
Mobile Homes:	_____	_____	_____	_____
* Blocking:	_____	_____	_____	_____
Foundation:	_____	_____	_____	_____
Ext. Walls:	_____	_____	_____	_____
Int. Walls:	_____	_____	_____	_____
Roof:	_____	_____	_____	_____
Studding:	_____	_____	_____	_____
Floor Joists:	_____	_____	_____	_____
Beams:	_____	_____	_____	_____
Rafters (Truss):	_____	_____	_____	_____
Chimney:	_____	_____	_____	_____
Other:	_____	_____	_____	_____

Heating: Type: \_\_\_\_\_ Size: \_\_\_\_\_

Plumbing: No. Baths: \_\_\_\_\_ Sinks: \_\_\_\_\_ W.C.'s: \_\_\_\_\_ Urinals: \_\_\_\_\_

Lighting: \_\_\_\_\_ Foundation Soil Classification and Type: \_\_\_\_\_

Continued on Reverse

**FORM A** (contd)

**CONTRACTORS**

NAME: \_\_\_\_\_ MAILING ADDRESS: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_

Structural: \_\_\_\_\_

Plumbing: \_\_\_\_\_

Electrical: \_\_\_\_\_

Painting &  
Decorating: \_\_\_\_\_

Excavation &  
Trucking: \_\_\_\_\_

Roofing: \_\_\_\_\_

Masonry: \_\_\_\_\_

Estimated Cost of Building: (excluding site): \$ \_\_\_\_\_

Floor area of building: (excluding unfinished basement) \_\_\_\_\_ sq. ft. (m)

Building Permit Fee \$ \_\_\_\_\_ Receipt No. \_\_\_\_\_

I hereby agree to file with the municipality, a list of the tradesmen for licensing purposes and to pay their license fees to the Town of Battleford should I fail to provide the said list within **10 days** of the permit approval.

I hereby agree to comply with the bylaw of the municipality respecting building and acknowledge that it is my responsibility to ensure compliance with the building bylaw of the municipality and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the municipality or its authorized representatives.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner or Owner's Agent

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**FORM B** (completed by Building Inspector)

Permission is hereby granted to \_\_\_\_\_ to \_\_\_\_\_

a building to be used as a \_\_\_\_\_ on civic address or location \_\_\_\_\_

Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

in accordance with the application dated \_\_\_\_\_.

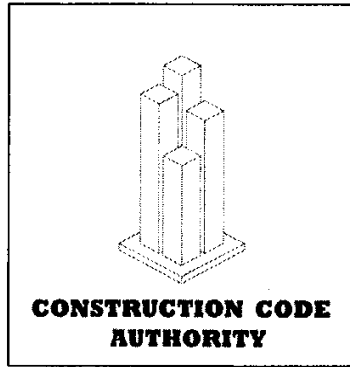
This **permit expires 6 months from the date of issue** if work is not commenced within that period or if work is suspended for a period of 6 months, unless by prior written agreement from the municipality or its authorized representative. This permit is issued under the following conditions, any deviation, omission or revision to the approved application requires approval from the municipality or its authorized representative:

\_\_\_\_\_  
Estimated value of construction \$ \_\_\_\_\_

\_\_\_\_\_  
Permit fee \$ \_\_\_\_\_

\_\_\_\_\_  
Date  
zoning.building.permit.application.June/2013

\_\_\_\_\_  
Signature of Authorized Representative



## Plan Review Checklist – Mobile Homes

**Home Owner/Builders:** The following information is required when submitting an application for a residential building permit and before a building permit is issued. The plan review will not begin until all required information is provided.

### Required Information:

- 2 sets of **Site Plans** with the following information
  - Show size and location of proposed mobile home
  - Show size and location of existing buildings on property
  - Show lot dimensions and shape
  - Show distance between buildings and property lines
  - Show North direction arrow
- 2 sets of **Mobile Home Layout Drawings** with the following information
  - Interior wall location (if enclosed)
  - Window sizes and locations
  - Door sizes, location and swing direction
- 2 copies of conformation that Mobile Home was constructed at a CSA approved facility
- 2 copies of the **Mobile Home Site Preparation and Anchorage Drawings**
  - See information provided from CSA Z240
- 2 copies of the **Building Permit Application** properly filled out

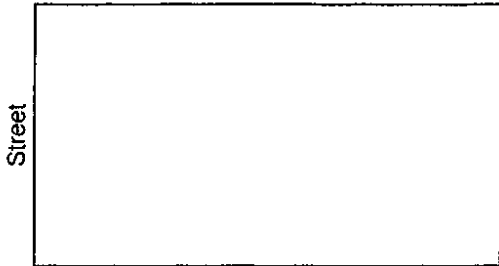
### Required Inspections:

- Plan Review (Prior to the commencement of any construction)
- Foundation (Prior to pouring concrete)
- Final (Prior to moving in or occupying the building)



# Modular/Mobile Homes

## Site Plan



### On Site Plan:

- Show size and location of proposed structure
- Show distance to side property line
- Show distance to rear property line
- Show lot dimensions and shape of lot
- Show all existing buildings
- Show direction of North

Owners Name: \_\_\_\_\_  
 Project Location: \_\_\_\_\_

### 1. Type of Structure

- Modular Home   
 Mobile Home

### 2. Foundation Design

- Part 9 (Prescriptive)   
 CSA Z240.10.1 (Deformation Res)

### 3. Type of Foundation (CSA Z240)

- Wood Cribbing   
 Concrete Blocks   
 Screw Piles

### 3. Type of Foundation (Part 9)

- Crawl Space   
 Basement

\*Submit drawings of foundation with permit application

### 4. Skirting

- Plywood/OSB   
 Vinyl

\*Skirting must be ventilated at least  
 1sqft/500sqft of floor area

### 5. Anchorage

- Ground Auger   
 Duckbill   
 Deadman   
 Concrete Slab

\*Not required for Part 9 foundations

### 6. Certification Info

Year Built: \_\_\_\_\_  
 CSA No: \_\_\_\_\_  
 Weight: \_\_\_\_\_ kg/lb  
 Length/Width: \_\_\_\_\_ m/ft

The Town will only accept Mobile Homes  
 Dated within a 10-year window period;  
 current year to 10 years previous.

### 7. Extra Requirements

- \*Must be CSA Z240 Certified  
 \*The following items must be brought up to the 2010  
 National Building Code of Canada requirements:
- Smoke alarms and CO detectors must be interconnect installed in each bedroom and the hallway leading too
  - Each bedroom must have a window that meets egress requirements (min 3.75sqft, with no dim less than 15")
  - Maximum addition size (Z240 surface foundations) is 10% of the home living area

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all Municipal By-Laws and/or Provincial Laws regulating building. It being expressly understood that the Issuing of a permit does not relieve the applicant from complying with all By-Laws, though not called for in the specifications, or shown on plans and/or application submitted.

Applicant (Print Please) \_\_\_\_\_ Date \_\_\_\_\_

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

Application Received By \_\_\_\_\_ Date Received \_\_\_\_\_

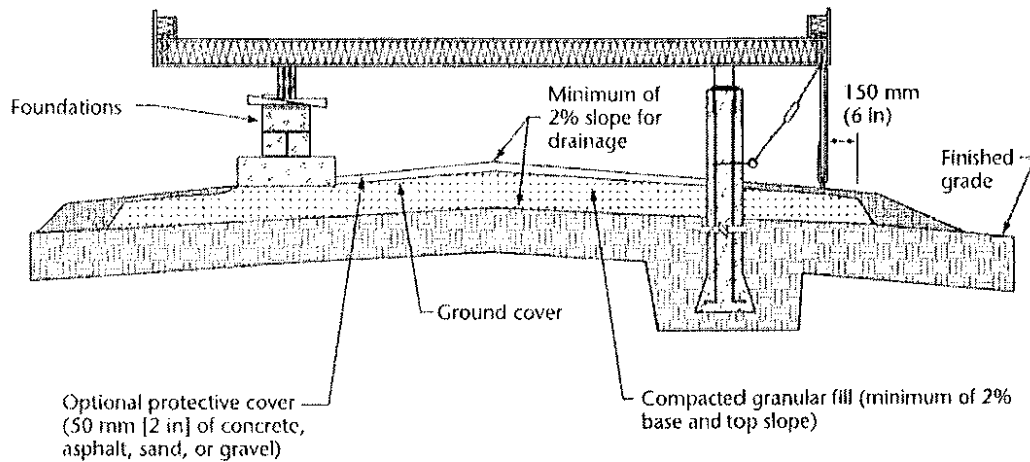
## Annex A (informative)

### Site preparation

**Note:** This Annex is not a mandatory part of this Standard.

#### A.1 General

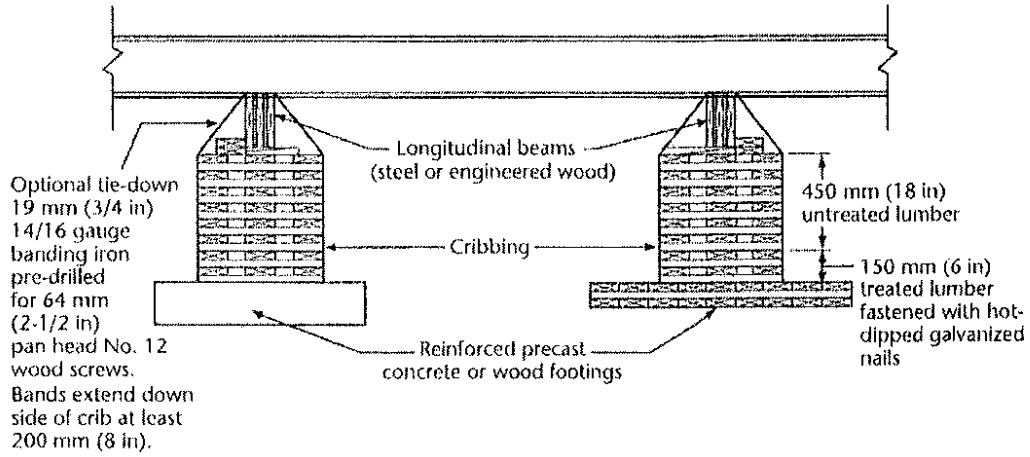
A typical example of site preparation for concrete pile or surface pier foundation systems is shown in Figure A.1.



**Notes:**

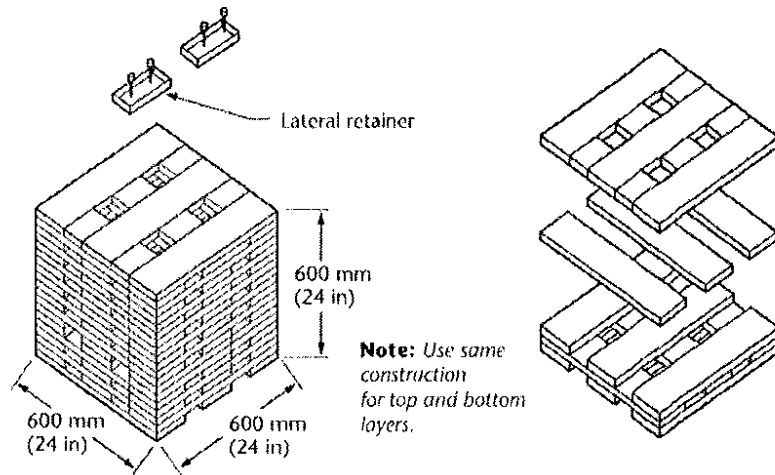
- (1) The ground cover extends at least 150 mm (6 in) past the sides of the manufactured home.
- (2) The backfill base and ground cover are graded centre to outside or from side to side with a minimum slope of 2%.
- (3) The surrounding finished grade slopes away from the home.

**Figure A.1**  
**Site preparation**  
 (See Clauses S.1.2 and A.1.)

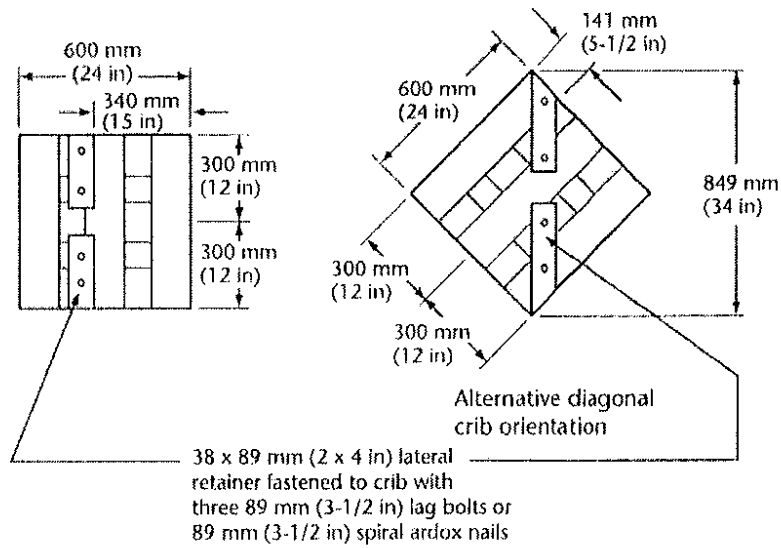


**Figure B.5**  
**Wood-crib pier foundation**  
(See Clauses 6.4.2, 6.4.6, and B.6.)

(Continued)

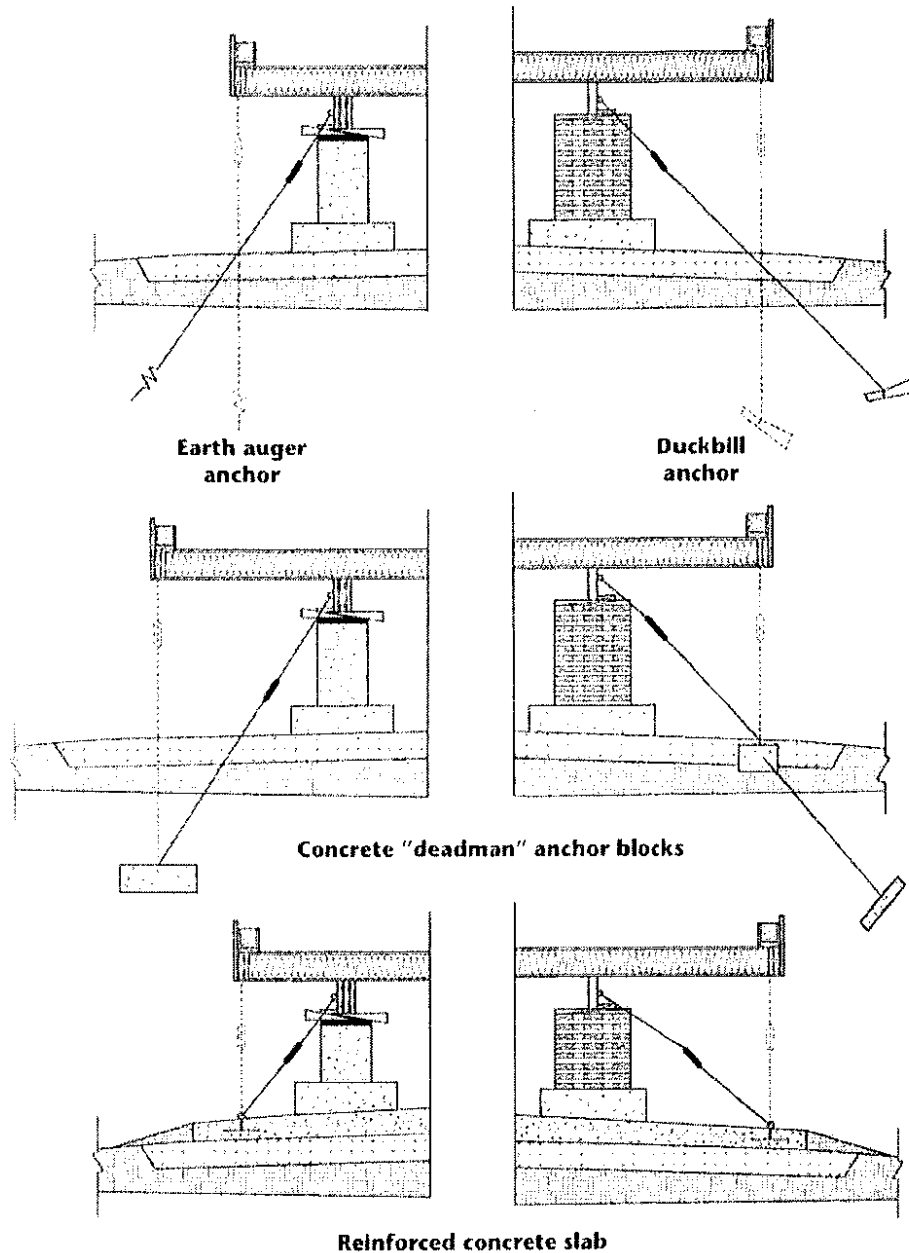


38 x 89 mm (2 x 4 in) or 38 x 140 mm (2 x 6 in)  
construction with 89 mm (3-1/2 in) ardox nails



**Wood-crib construction**

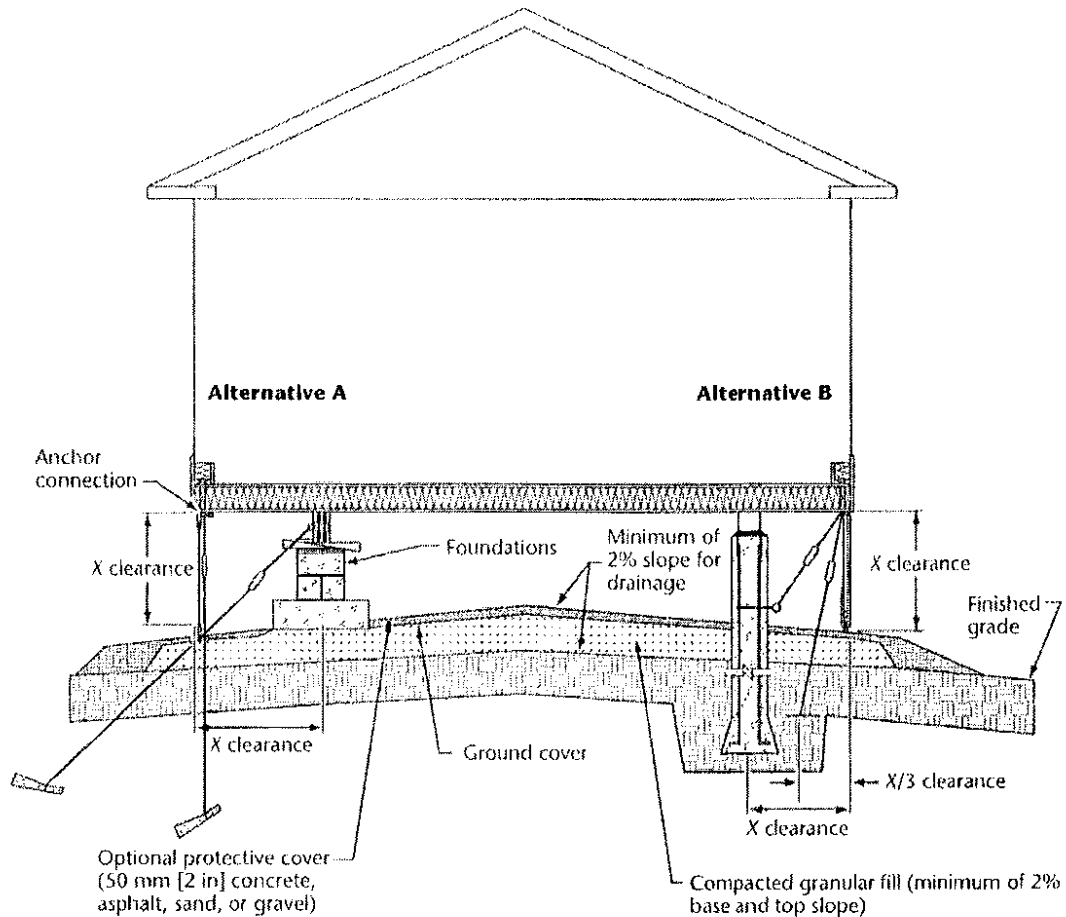
**Figure B.5 (Concluded)**



**Notes:**

- (1) Diagonal tie-downs are effective in limiting lateral sliding on foundation piers.
- (2) Vertical tie-downs directly connected to the wall studs provide the most effective resistance to uplift and overturning forces and should be considered for use at high-wind-load sites, particularly on the prevailing windward sides of an installation.

**Figure C.4**  
**Typical anchorage system arrangements**  
 (See Clause C.3.)

**Notes:**

- (1) The ultimate capacity of anchors and connections to the unit should be not less than 17.8 kN (4000 lb), with the anchors located not more than 1200 mm (4 ft) from the ends and spaced not more than 3660 mm (12 ft) on-centre along the sides of the unit.
- (2) Anchors should connect directly to wall studs to provide maximum restraint against uplift of the wall.
- (3) Anchors should be tightened to a minimum force of 13.35 kN (3000 lb) before adjustment to allow slack in the anchor cables.
- (4) For Alternative A, the slack should not exceed 75 mm (3 in) for diagonal cables and 50 mm (2 in) for vertical cables.
- (5) For Alternative B, the slack in the cables should not exceed 50 mm (2 in), although no slack is preferable.
- (6) For non-tornado areas, the spacing between anchors may be increased to 7320 mm (24 ft).

**Figure C.5**  
**Anchorage for tornado protection**  
 (See Clause C.4.)

## Annex E (informative)

### Skirting

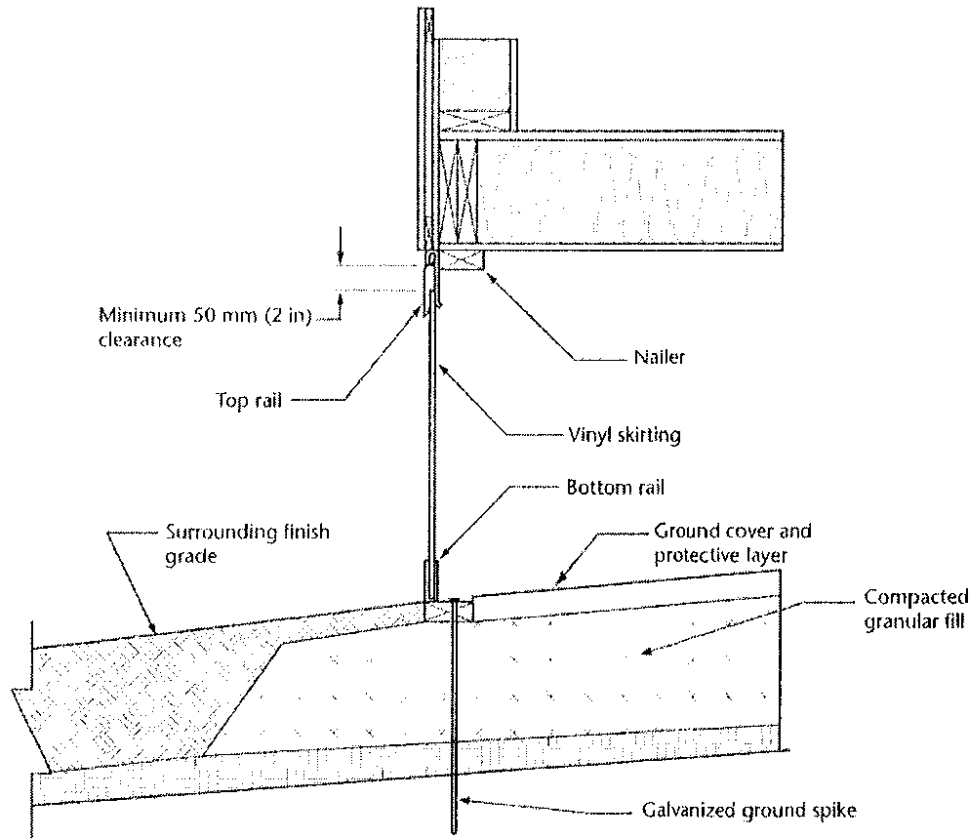
**Note:** This Annex is not a mandatory part of this Standard.

#### E.1 General

Skirting helps keep debris from accumulating under a home and should be used. Skirting also helps prevent penetration of cold air; however, it should not be considered adequate protection for exposed waterlines.

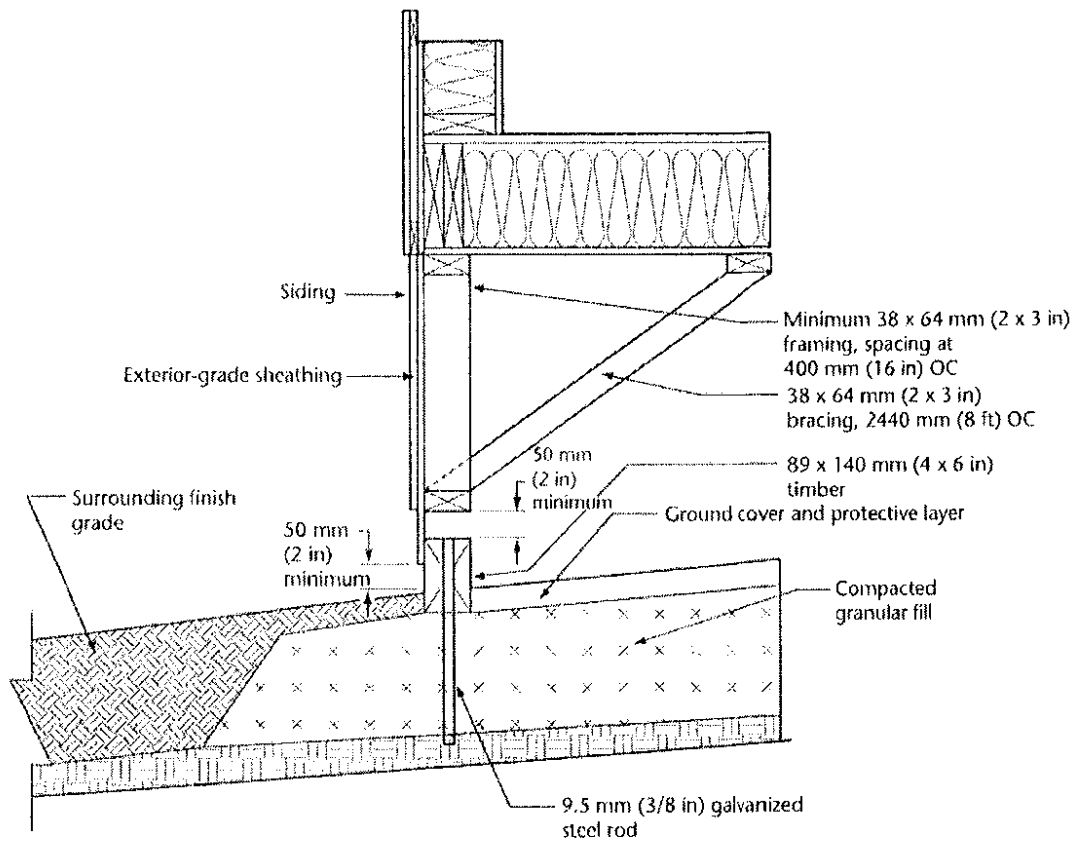
#### E.2 Designs

Skirting designs vary depending on the skirting material, lot contours, and foundation system. Some skirting systems include channels and take-up devices. Typical systems are shown in Figures E.1 to E.3.



**Note:** Movement should be provided for in soils susceptible to frost heave.

**Figure E.1**  
**Skirting system (Example 1)**  
 (See Clauses 9.1 and E.2.)

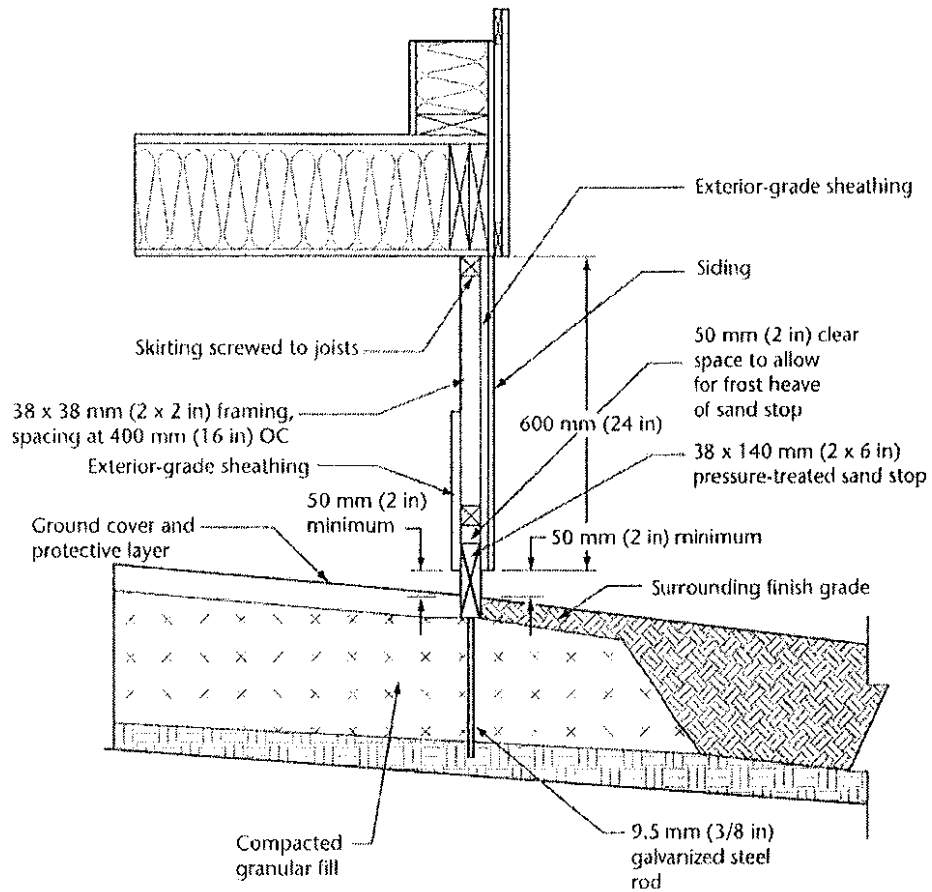


**Notes:**

- (1) Movement should be provided for in soils susceptible to frost heave.
- (2) Wood in contact with the ground should be treated with a pressure preservative.

**Figure E.2**  
**Skirting system (Example 2)**  
 (See Clauses 9.1 and E.2.)



**Notes:**

- (1) Movement should be provided for in soils susceptible to frost heave.
- (2) Wood in contact with the ground should be treated with a pressure preservative.

**Figure E.3**  
**Skirting (Example 3)**  
 (See Clauses 9.1 and E.2.)